

CONDITION SURVEY

OCTOBER 2022

Location

Oratorju Qalb ta' Ġesu`, Pjazza Dun Angelo Camilleri, Il-Mosta

Project Name

Redevelopment of Oratorju Qalb ta' Ġesù - Phase 1 Civil Works

Scope

The scope of this condition survey is to assess the existing condition of the buildings within the Oratorju Qalb ta' Ġesu` premises which are directly abutting the areas intended to be re-developed as per specification clause B50/740 Condition survey of existing buildings and structures..

For this purpose, I the undersigned architect, have visually inspected the Oratory chapel and the theatre, on the 30th September 2022, to inspect their condition prior to any demolition, excavation and construction works.

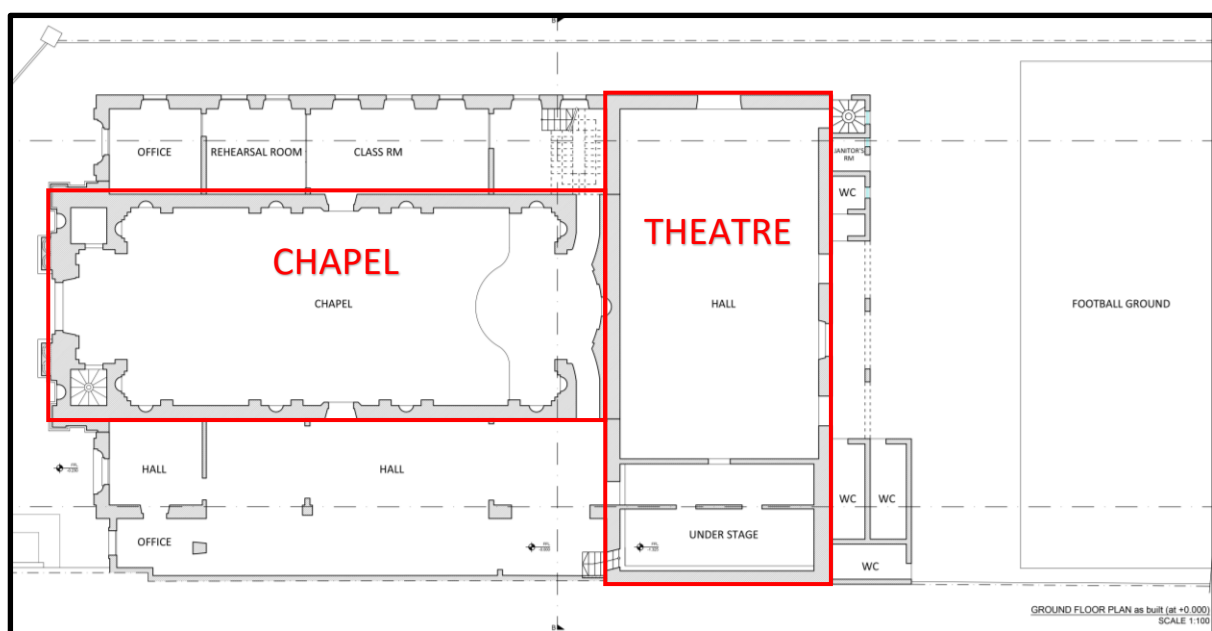


Figure 1 : Inspected areas at: Oratorju Qalb ta' Ġesu`, Mosta

Details of inspected properties

A. The Chapel

At present, restoration works on the front façade are being carried out by the Restoration Directorate, as covered by PA permit PA/01528/22.

Structure

The structure consists of stone masonry construction. The ceiling comprises limestone slabs 'xorok' resting on embedded steel beams and transferring the overlying loading onto load bearing multi-tier stone masonry walls.

From visual observations on site, no cracks or fissures which might indicate any structural instability with respect to the existing fabric were revealed.

Finishes and their general condition

The chapel consists of hand-dressed smooth ashlar globigerina limestone (franka) walls and ceiling surfaces. The floor is finished in terrazzo floor tiles.

Defect and shortcomings

The inspected property is in a generally good condition. The following defects and shortcomings were observed, as marked on photos:

- Water stains in walls due to capillary rise – Refer to Figures 7, 8, 9
- Wall dampness and stone deterioration due to capillary rise – Refer to Figures 7, 8
- Rusted steel beams – Refer to Figures 13, 14, 15
- Open joints and dislocated masonry blocks – Refer to Figure 19
- Water stains due to water penetration in walls and ceilings – Refer to Figures 13, 14, 16, 20
- Hairline cracks – Refer to Figure 17
- Cracks – Refer to Figures 10, 11
- Flaking paint – Refer to Figure 21

What follows is a photographic survey of the existing property as cross-referenced on the below plans:

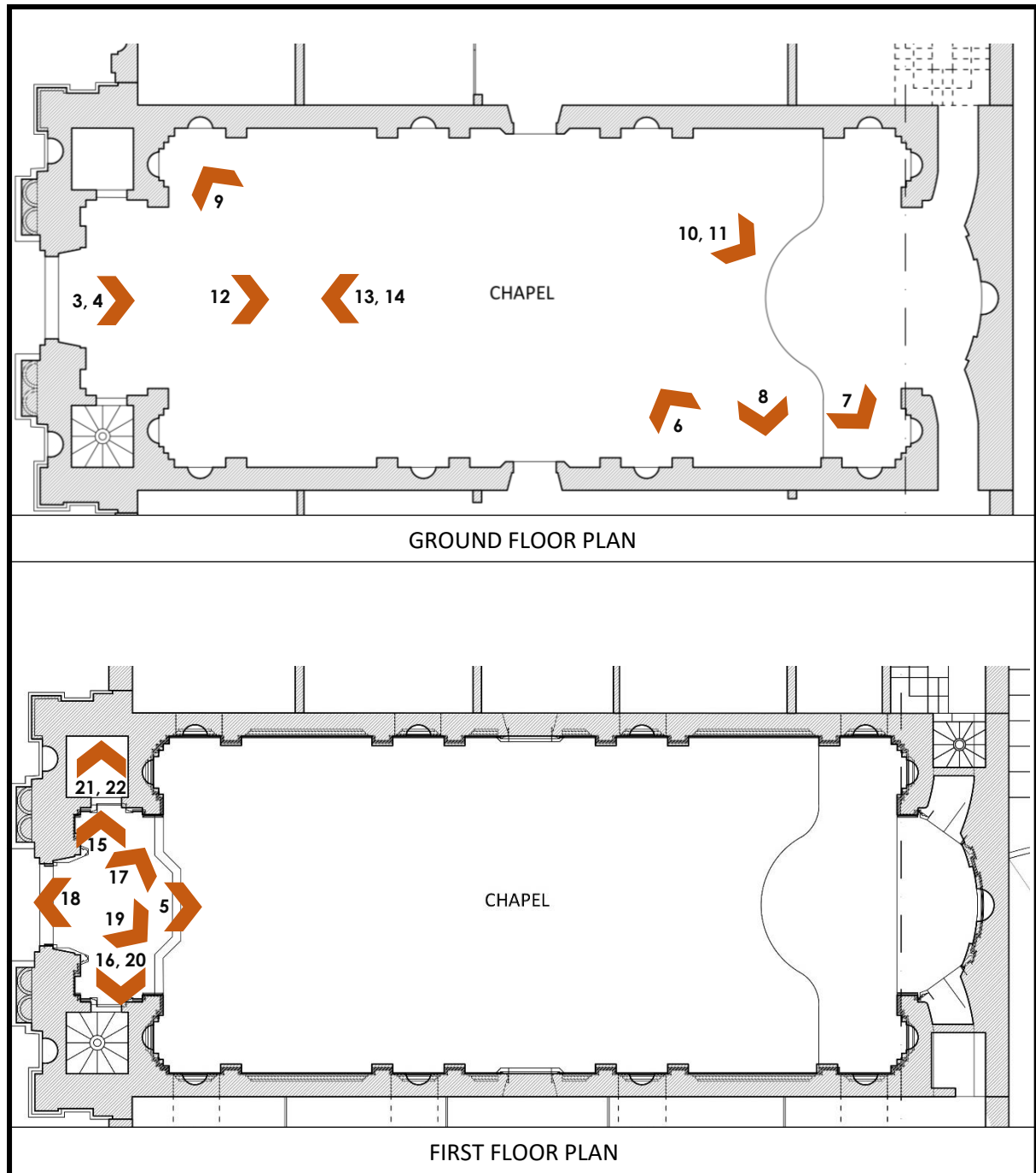


Figure 2 : Chapel plan showing location from which the following photos were taken



Figure 3 : Chapel – masonry structure

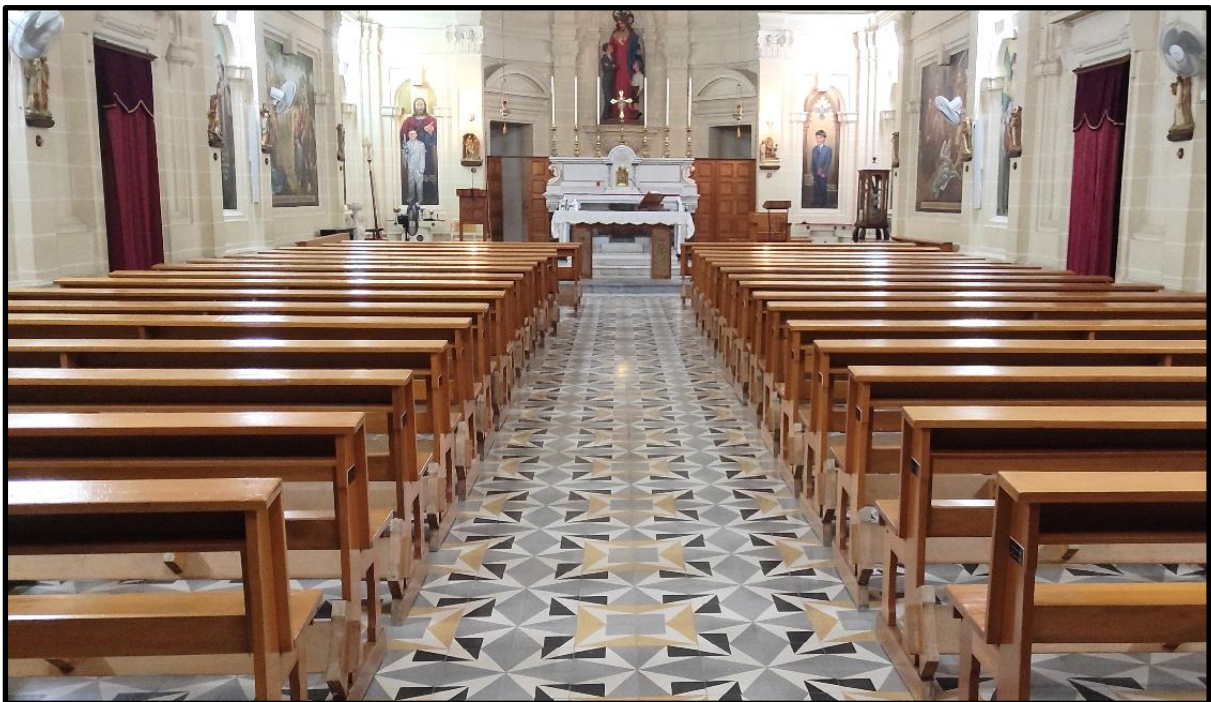


Figure 4 : Chapel – tiled floor



Figure 5 : Chapel - Limestone slabs 'xorok' in embedded steel beams



Figure 6 : Chapel – Limestone slabs 'xorok' in embedded steel beams



Figure 7 : Chapel – Wall dampness and stone deterioration due to capillary rise



Figure 8 : Chapel – Water stains due to capillary rise



Figure 9 : Chapel – Water stains due to capillary rise



Figure 10 : Chapel – Altar flooring - Crack in floor tiles



Figure 11 : Chapel – Altar flooring - cracks



Figure 12 : Chapel – Floor tiles – good condition

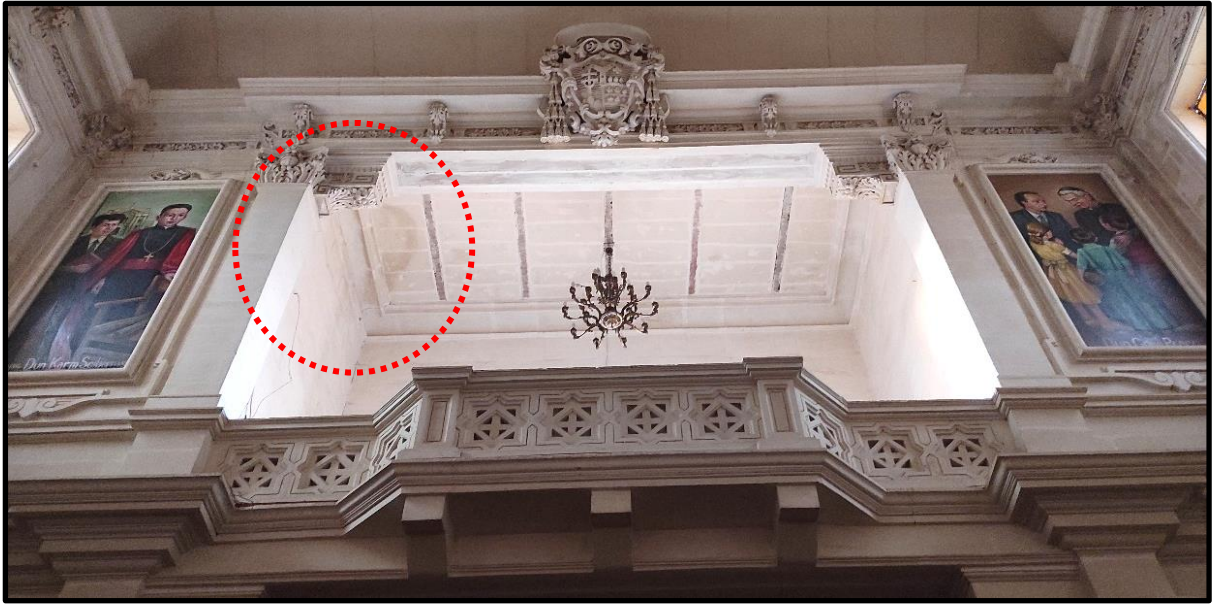


Figure 13 : Chapel – Slab above balcony – rusted steel beams, water stains



Figure 14 : Chapel – Slab above balcony – rusted steel beams, water stains



Figure 15 : Chapel – Slab above balcony – Rusty steel beams, open joints



Figure 16 : Chapel - Slab above balcony – Rusty steel beams & water stains in stone, open joints



Figure 17 : Chapel – Balcony – rusted steel beams, hairline cracks

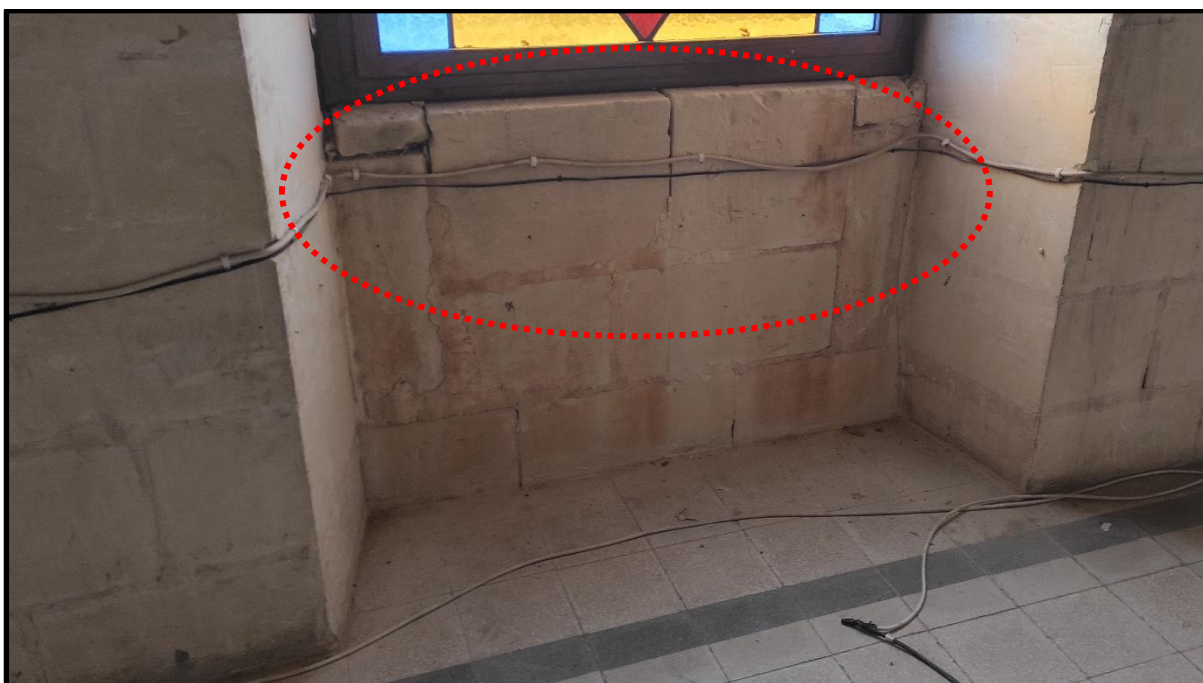


Figure 18 : Chapel – Balcony wall (front facade) – Open joints and dislocated masonry blocks



Figure 19 : Chapel – Balcony – poor wall and floor finishes



Figure 20 : Chapel – Chapel Balcony



Figure 21 : Chapel – Flaking paint



Figure 22 : Chapel – Box Room in balcony

B. Theatre

The theatre seating area has been recently refurbished.

Structure

The structure consists of stone masonry construction. The ceiling comprises limestone slabs 'xorok' resting on embedded steel beams and transferring the overlying loading onto load bearing multi-tier stone masonry walls. The seating area slab condition couldn't be assessed since it is concealed with a false ceiling. The stage ceiling is mostly concealed with stage equipment but appears to be in a good condition.

From visual observations on site, no cracks or fissures which might indicate any structural instability with respect to the existing fabric were revealed.

Finishes and their general condition

The theatre consists of rendered walls and ceramic floor tiles. The stone slabs of the roof over the Auditorium are covered with a timber suspended ceiling resting on the bottom flange of the roof steel beams. The gallery reinforced concrete slab comprises a gypsum board suspended ceiling.

Defect and shortcomings

The inspected theatre is in a generally good condition. The main hall was recently refurbished. The stage and backstage area however are in a fair state of repair.

The following defects and shortcomings were observed, as marked on photos:

- Stage area – flaking paint, scratched flooring (Refer to Figures 35, 38)
- Backstage area – chipped stairs (Refer to Figure 38)
- Backstage area – patched paintwork (Refer to Figures 39, 40)

What follows is a photographic survey of the existing property:

What follows is a photographic survey of the existing property as cross-referenced on the below plans:

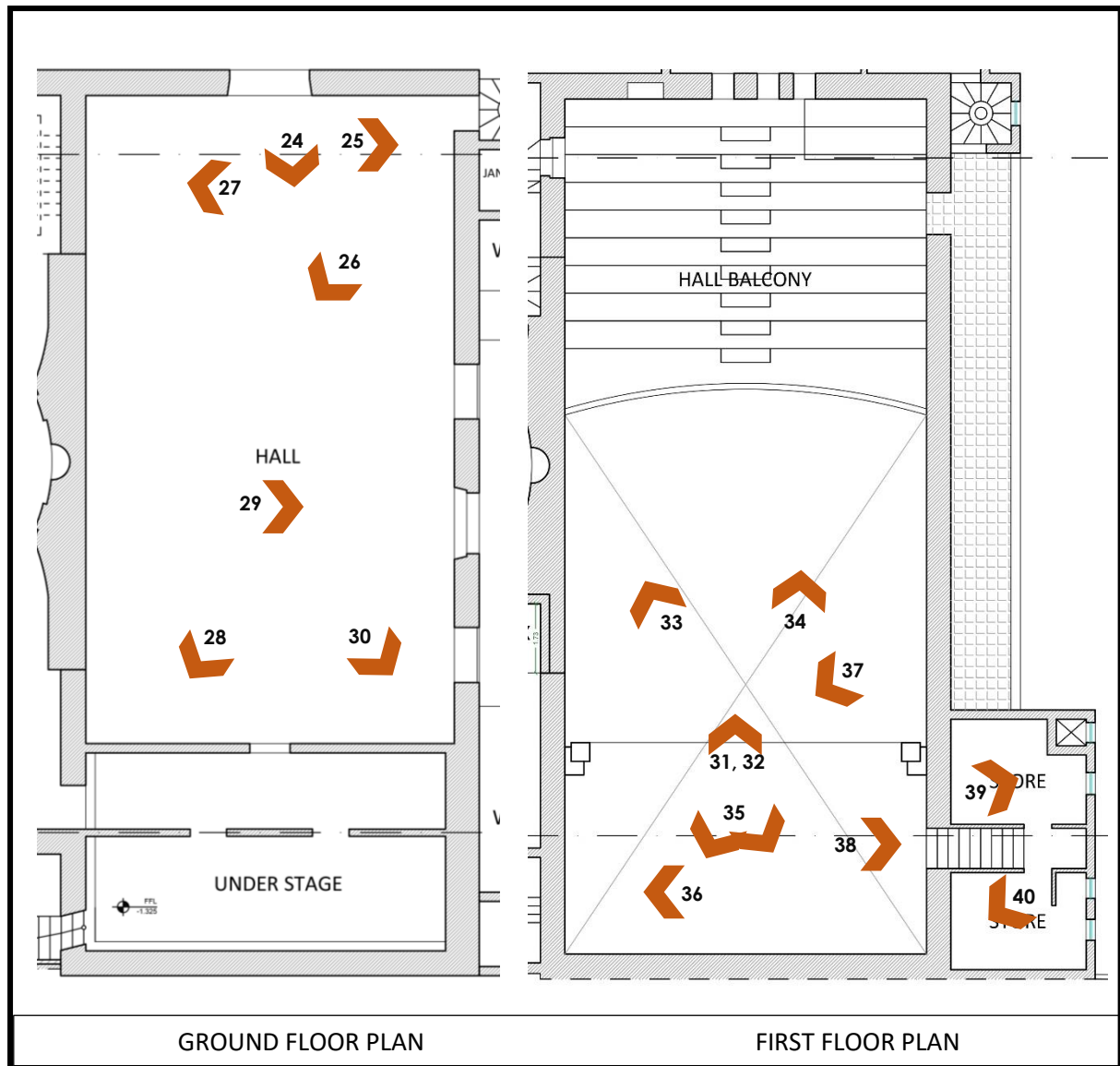


Figure 23 : Theatre plan showing location from which the following photos were taken



Figure 24 : Theatre – Ceramic floor tiles, rendered walls and rendered gypsum ceiling



Figure 25 : Theatre – Ceramic floor tiles, rendered walls and ceiling



Figure 26 : Theatre – Ceramic floor tiles, rendered walls and ceiling



Figure 27 : Theatre – Ceramic floor tiles, rendered walls and ceiling



Figure 28 : Theatre – Ceramic floor tiles, rendered walls and ceiling



Figure 29 : Theatre – Ceramic floor tiles, rendered walls and ceiling



Figure 30 : Theatre – Ceramic floor tiles, rendered walls and ceiling



Figure 31 : Theatre – Timber panels embedded in steel beams



Figure 32 : Theatre – Timber panels embedded in steel beams



Figure 33 : Theatre – Timber panels embedded in steel beams



Figure 34 : Theatre – Stage and equipment



Figure 35 : Theatre – Stage and equipment – flaking paint, scratched flooring

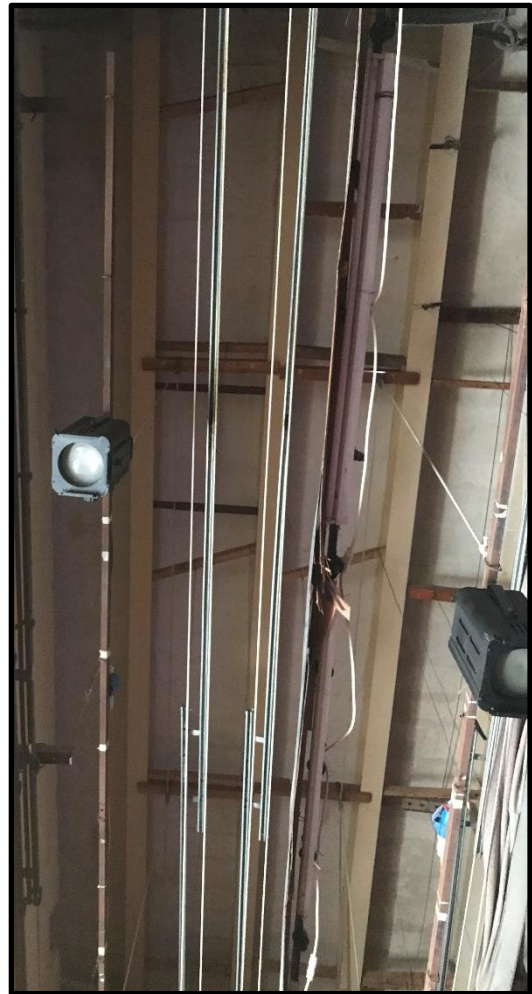


Figure 36 : Theatre – Stage and equipment, stage ceiling



Figure 37 : Theatre – Stage



Figure 38 : Theatre – Backstage – poor finishes – flaking paint, chipped stairs

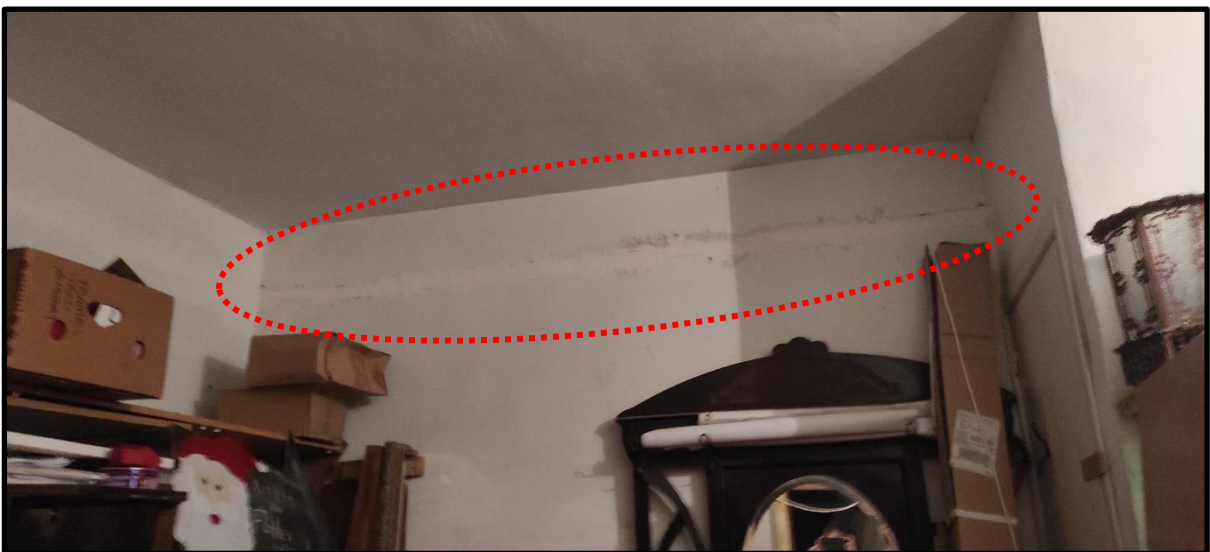


Figure 39 : Theatre – Backstage store rooms – patched paintwork



Figure 40 : Theatre – Backstage store rooms – patched paintwork

Conclusion

I trust the above will suffice however do not hesitate to contact the undersigned should you require any further clarifications.

Yours sincerely,


Perit Rowena Gauci
B.E. & A. (hons.), A. & C.E.
Warrant No. 971

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